

175 81-211-SPH #175 **PETITION FOR SPECIAL HEARING** TO THE ZONING COMMISSIONER OF BALTIMORE COUNTY:

The undersigned, legal owner(s) of the property situate in Baltimore County and which is described in the description and plat attached hereto and made a part hereof, hereby petition for a Special Hearing under Section 500.7 of the Baltimore County Zoning Regulations, to determine whether or not the Zoning Commissioner and/or Deputy Zoning Commissioner should approve

A Parking Lot and Entrance in an MR-1M Zone.

Property is to be posted and advertised as prescribed by Zoning Regulations.

I, or we, agree to pay expenses of the above Special Hearing, advertising, posting, etc., upon filing of this Petition, and further agree to and are to be bound by the zoning regulations and restrictions of Baltimore County adopted pursuant to the Zoning Law for Baltimore County.

I/We do solemnly declare and affirm, under the penalties of perjury, that I/we are the legal owner(s) of the property which is the subject of this Petition.

COMMON Petitioner: Lessee

Legal Owner(s):

Cromwell Bridge Road Limited Ptn.

George W. Helfrich

(Type or Print Name)

(Type or Print Name)

By: *Clark P. MacKenzie*

George W. Helfrich

Signature of Clark P. MacKenzie, G.P.

Signature

10807 Falls Road

(Type or Print Name)

Address

Signature

Lutherville, Maryland 21093

(Type or Print Name)

City and State

Signature

Attorney for Petitioner:

Chamber of Commerce Building

R. Bruce Alderman

Commerce & Water Streets

(Type or Print Name)

Address

Signature

Phone No.

303 W. Chesapeake Avenue, Suite 310

Baltimore, Md. 21202

Address

City and State

Towson, Maryland 21204

Name

City and State

Address

Telephone No.: 828-1050

Phone No.

ORDERED By The Zoning Commissioner of Baltimore County, this 16th day

of April, 1981, that the subject matter of this petition be advertised, as

required by the Zoning Law of Baltimore County, in two newspapers of general circulation through-

out Baltimore County, that property be posted, and that the public hearing be had before the Zoning

Commissioner of Baltimore County in Room 106, County Office Building in Towson, Baltimore

County, on the 11th day of June, 1981, at 9:45 o'clock

A.M.

William E. Hammond

Zoning Commissioner of Baltimore County.

K.C.O.-No. 1

(over)

BALTIMORE COUNTY, MARYLAND

INTER-OFFICE CORRESPONDENCE

TO: Mr. W. E. Hammond
Zoning Commissioner Date: May 25, 1981

FROM: Norman E. Gerber, Director
Office of Planning and Zoning

SUBJECT: Petition No. 81-211-SPH - Item 175

Petition for Special Hearing
South side of Cromwell Bridge Road, 114 feet southeast of
Beaverbank Circle
Petitioner- George W. Helfrich

Ninth District

HEARING: Thursday, June 11, 1981 (9:45 A.M.)

An amended plan was approved by the Baltimore County Planning Board on April 16, 1981.

Norman E. Gerber
Norman E. Gerber, Director
Office of Planning and Zoning

NEG:JGH:ab

BALTIMORE COUNTY ZONING PLANS ADVISORY COMMITTEE

June 2, 1981

COUNTY OFFICE BLDG.
111 W. Chesapeake Ave.
Towson, Maryland 21204

GOO
Nicholas B. Commodari
Chairman

MEMBERS
Bureau of Engineering
Department of Traffic Engineering
State Roads Commission
Bureau of Fire Prevention
Health Department
Project Planning
Building Department
Board of Education
Zoning Administration
Industrial Development

R. Bruce Alderman, Esquire
305 W. Chesapeake Avenue
Suite 310
Towson, Maryland 21204

RE: Item No. 175
Petitioner: George Helfrich
Special Hearing Petition

Dea. Mr. Alderman:

The Zoning Plans Advisory Committee has reviewed the plans submitted with the above referenced petition and has made an on-site field inspection of the property. The following comments are not intended to indicate the appropriateness of the zoning action requested, but to assure that all parties are made aware of plans or problems with regard to the development plans that may have a bearing on this case. The Director of Planning may file a written report with the Zoning Commissioner with recommendations as to the suitability of the requested zoning.

Because of your client's proposal to construct additional parking on this M.R. zoned property for the proposed office building to the east, this special hearing is required. As indicated in the comments from Current Planning, this proposal was approved by the Planning Board on April 20, 1981.

Particular attention should be afforded to the comments of the Department of Permits and Licenses.

Enclosed are all comments submitted to this office from the Committee members at this time. The remaining members felt that no comment was warranted. This petition was accepted for filing on the date of the enclosed certificate and a hearing scheduled accordingly.

Very truly yours,

Nicholas B. Commodari
NICHOLAS B. COMMODARI, Chairman
Zoning Plans Advisory Committee

NBC/mkh
Enclosure

cc: G.W. Stephens, Jr. & Assoc.
303 Allegheny Avenue
Towson, Maryland 21204

BALTIMORE COUNTY DEPARTMENT OF PUBLIC WORKS TOWSON, MARYLAND 21204

HARRY J. PISTEL, P.E.
DIRECTOR

April 27, 1981

Mr. William E. Hammond
Zoning Commissioner
County Office Building
Towson, Maryland 21204

Re: Item #175 (1980-1981)
Property Owner: George Helfrich
S/S Cromwell Bridge Rd. 114.09' E. of Beaverbank Circle
Acres: 0.46 District: 9th

Dear Mr. Hammond:

The following comments are furnished in regard to the plat submitted to this office for review by the Zoning Advisory Committee in connection with the subject item.

General:

The comments which were supplied in conjunction with the Zoning Advisory Committee review of this property for Item 25 (1975-1976) are referred to for your consideration.

The Petitioner's proposed improvements are being processed by the Baltimore County Bureau of Public Services in conjunction with Building Permit 165-81, Project 81024.

This office has no further comment in regard to the plan submitted for Zoning Advisory Committee review in connection with this Item 175 (1980-1981).

Very truly yours,

Robert A. Horman
ROBERT A. HORMAN, P.E., Chief
Bureau of Public Services

RAM:EAM:FWR:iss

cc: Jack Winbley
Robert Covahey

N-W Key Sheet
38 NE 7 & 8 Pos. Sheets
NE 10 B Topo
70 Tax Map

BALTIMORE COUNTY, MARYLAND

INTER-OFFICE CORRESPONDENCE

TO: Mr. William Hammond
Zoning Commissioner Date: April 20, 1981

FROM: Norman E. Gerber
Director of Planning and Zoning

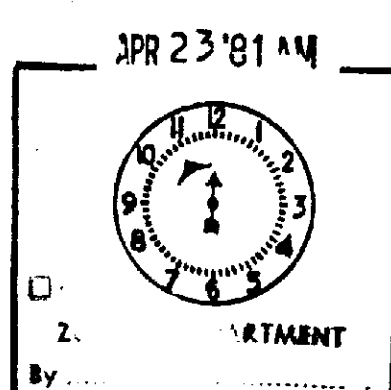
SUBJECT: Proposed development in M.R. Zone - 1001 Cromwell Bridge Road

At its regular monthly meeting, held on April 16, 1981, the Baltimore County Planning Board reviewed the subject M.R. site and subsequently favorably recommended approval of the site plan.

As per Section 240.3 of the Baltimore County Zoning Regulations, I am forwarding you five copies of the Proposed Development Plan, which has been approved by this office.

Norman E. Gerber
Norman E. Gerber
Director of Planning and Zoning

John L. Wimbley
John L. Wimbley
Current Planning and Development



BALTIMORE COUNTY DEPARTMENT OF HEALTH TOWSON, MARYLAND 21204

DONALD J. ROOP, M.D., M.P.H.
DEPUTY STATE & COUNTY HEALTH OFFICER

May 15, 1981

Mr. William E. Hammond, Zoning Commissioner
Office of Planning and Zoning
County Office Building
Towson, Maryland 21204

Dear Mr. Hammond:

Comments on Item #175, Zoning Advisory Committee Meeting of March 31, 1981, are as follows:

Property Owner: George Helfrich
Location: S/S Cromwell Bridge Road 114.09' E. of Beaverbank Circle
Existing Zoning: MR-1M
Proposed Zoning: Special Hearing to approve a parking lot and entrance in an MR-1M zone.
Acres: 0.46
District: 9th

Metropolitan water and sewer are available.

If a food service facility is proposed, complete plans and specifications must be submitted to the Plans Review Section, Environmental Support Services, Baltimore County Department of Health, for review and approval prior to construction.

Prior to new installation/s of fuel burning equipment the owner should contact the division of Air Pollution Control, 494-3775, to obtain requirements for such installation/s before work begins.

Very truly yours,

Ian J. Forrest
Ian J. Forrest, Director
BUREAU OF ENVIRONMENTAL SERVICES

LJP/als

cc: Plans Review Section

Air Pollution Control

BALTIMORE COUNTY FIRE DEPARTMENT TOWSON, MARYLAND 21204 825-7310

PAUL H. RENCKE
CHIEF

April 21, 1981

Mr. William Hammond
Zoning Commissioner
Office of Planning and Zoning
Baltimore County Office Building
Towson, Maryland 21204

Attention: Nick Commodari, Chairman
Zoning Plans Advisory Committee

RE: Property Owner: George Helfrich

Location: S/E Cromwell Bridge Road 114.09' E. of Beaverbank Circle

Item No.: 175 Zoning Agenda: Meeting of March 31, 1981

Gentlemen:

Pursuant to your request, the referenced property has been surveyed by this Bureau and the comments below marked with an "X" are applicable and required to be corrected or incorporated into the final plans for the property.

- () 1. Fire hydrants for the referenced property are required and shall be located at intervals of 100 feet along an approved road in accordance with Baltimore County Standards as published by the Department of Public Works.
- () 2. A second means of vehicle access is required for the site.
- () 3. The vehicle dead end condition shown at _____

EXCEEDS the maximum allowed by the Fire Department.

- () 4. The site shall be made to comply with all applicable parts of the Fire Prevention Code prior to occupancy or beginning of operation.

5. The buildings and structures existing or proposed on the site shall comply with all applicable requirements of the National Fire Protection Association Standard No. 101 "Life Safety Code", 1976 Edition prior to occupancy.

- () 5. Site plans are approved, as drawn.

- () 7. The Fire Prevention Bureau has no comment at this time.

REVIEWER: *John L. Wimbley*
Planning Group
Special Inspection Division

Noted and Approved: *George M. Hegemott*
Fire Prevention Bureau

/mb

BALTIMORE COUNTY OFFICE OF PLANNING & ZONING
County Office Building
111 W. Chesapeake Avenue
Towson, Maryland 21204

Your Petition has been received and accepted for filing this 16th day of April, 1981.

William E. Hammond
WILLIAM E. HAMMOND
Zoning Commissioner

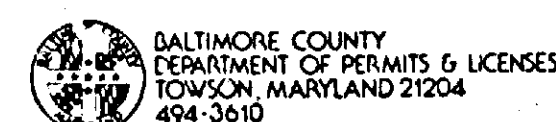
Petitioner: George Helfrich
Petitioner's Attorney: James Alderman, Esquire
Reviewed by: *Nicholas B. Commodari*
Nicholas B. Commodari
Chairman, Zoning Plans Advisory Committee

Pursuant to the advertisement, posting of property, and public hearing on the petition and appearing that by reason of the following finding of facts approval of a parking lot and entrance in an M.R. Zone-I.M. District would be in strict harmony with the spirit and intent of the Baltimore County Zoning Regulations and would not be detrimental to the health, safety, and general welfare of the community; and, therefore,

IT IS ORDERED by the Deputy Zoning Commissioner of Baltimore County, this 22nd day of June, 1981, that a parking lot and entrance in an M.R. Zone-I.M. District, in accordance with the site plan approved by the Baltimore County Planning Board on April 16, 1981, should be approved and, as such, the Petition for Special Hearing is hereby GRANTED, from and after the date of this Order, subject, however, to the following restrictions:

1. Installation of one additional light on the island not to exceed 30 feet in height.
2. A revised site plan, incorporating the above restriction, being submitted for approval by the Department of Public Works and the Office of Planning and Zoning.

Jan M. H. Jones
Deputy Zoning Commissioner of
Baltimore County



TED ZALESKI JR.
DIRECTOR

April 6, 1981

Mr. William E. Hammond, Zoning Commissioner
Office of Planning and Zoning
County Office Building
Towson, Maryland 21204

Dear Mr. Hammond:
Comments on Item 175 Zoning Advisory Committee Meeting, March 31, 1981
are as follows:

Property Owner: George Helfrich
Location: S/S Cromwell Bridge Road 114.09' E. of Beaverbank Circle
Existing Zoning: ME-IM
Proposed Zoning: Special Hearing to approve a parking lot and entrance in an ME-IM zone.

Acres: 0.48
District: 9th

The items checked below are applicable:

- X A. All structures shall conform to the Baltimore County Building Code 1978, the State of Maryland Code for the Handicapped and Aged; and other applicable Codes.
- X B. A building and other miscellaneous structures shall be required before beginning construction.
- C. Residential: Three sets of construction drawings are required to file a permit application. Architect/Engineer seal is not required.
- X D. Commercial: Three sets of construction drawings with a Maryland Registered Architect or Engineer shall be required to file a permit application.
- E. In wood frame construction an exterior wall erected within 6' 0" of an adjacent lot line shall be of one hour fire resistive construction, no openings permitted within 3' 0" of lot line. A minimum 8" masonry firewall is required if construction is on the lot line.
- F. Requested variance conflicts with the Baltimore County Building Code, Section/s _____
- G. A change of occupancy shall be applied for, along with an alteration permit application, and three required sets of drawings indicating how the structure will meet the Code requirements for the proposed change. Drawings may require a professional seal.
- H. Before this office can comment on the above structure, please have the owner, thru the services of a Registered in Maryland Architect or Engineer certify to this office, that, the structure for which a proposed change in use is proposed can comply with the height/area requirements of Table 305 and the required construction classification of Table 211.
- X I. Comments - Show compliance to Handicap Code, parking spaces shall be located so handicapped are not compelled to wheel or pass behind a parked vehicle. An elevator meeting handicap code requirements shall be provided.

NOTE: These comments reflect only on the information provided by the drawing submitted to the office of Planning and Zoning and are not intended to be construed as the full extent of any permit.
If desired additional information may be obtained by visiting Room #122 (Plan Review) at 111 West Chesapeake Ave., Towson.

Very truly yours,
Charles E. Burnham
Charles E. Burnham, Chief
Plan Review

CEB:rrj

BALTIMORE COUNTY PUBLIC SCHOOLS

Robert Y. Dubel, Superintendent

Towson, Maryland - 21204

Date: March 26, 1981

Mr. William E. Hammond
Zoning Commissioner
Baltimore County Office Building
1111 West Chesapeake Avenue
Towson, Maryland 21204

Z.A.C. Meeting of: March 31, 1981

RE: Item No: 170, 171, 172, 173, 174, 175, 176
Property Owner:
Location:
Present Zoning:
Proposed Zoning:

District:
No. Acres:

Dear Mr. Hammond:

All of the above have no bearing on student population.

Very truly yours,

Wm. Nick Petrovich
Wm. Nick Petrovich, Assistant
Department of Planning

WNP/bp

BALTIMORE COUNTY, MARYLAND

INTER-OFFICE CORRESPONDENCE

Mr. William Hammond
Zoning Commissioner

Date: May 27, 1981

FROM: Michael S. Flanigan, Engineer Associate II

SUBJECT: ZONING COMMENTS

Relative to ZAC meeting of March 31, 1981, the Department of Traffic Engineering has no comments for items #170, #172, 171, 174, 175 and 176.

Michael S. Flanigan
Michael S. Flanigan
Engineer Associate II

MSF/bza

PETITION FOR SPECIAL HEARING

9th DISTRICT

ZONING: Petition for Special Hearing

LOCATION: South side of Cromwell Bridge Road, 114 feet southeast of Beaverbank Circle

DATE & TIME: Thursday, June 11, 1981, at 9:45 A.M.

PUBLIC HEARING: Room 106, County Office Building, 111 West Chesapeake Avenue, Towson, Maryland

The Zoning Commissioner of Baltimore County, by authority of the Zoning Act and Regulations of Baltimore County, will hold a public hearing:

Petition for Special Hearing under Section 500.7 of the Baltimore County Zoning Regulations, to determine whether or not the Zoning Commissioner and/or Deputy Zoning Commissioner should approve a parking lot and entrance in an M.R. Zone I.M. District.

All that parcel of land in the Ninth District of Baltimore County.

Being the property of George W. Helfrich as shown on plat plan filed with the Zoning Department

Hearing Date: Thursday, June 11, 1981 at 9:45 A.M.
Public Hearing: Room 106, County Office Building, 111 West Chesapeake Avenue, Towson, Maryland

BY ORDER OF
WILLIAM E. HAMMOND
ZONING COMMISSIONER
OF BALTIMORE COUNTY

RE: PETITION FOR SPECIAL HEARING : BEFORE THE ZONING COMMISSIONER
S/S of Cromwell Bridge Rd., 114'
SE of Beaverbank Circle,
9th District : OF BALTIMORE COUNTY

GEORGE W. HELFRICH, Petitioner : Case No. 81-211-SPH

ORDER TO ENTER APPEARANCE

Mr. Commissioner:

Pursuant to the authority contained in Section 524.1 of the Baltimore County Charter, I hereby enter my appearance in this proceeding. You are requested to notify me of any hearing date or dates which may be now or hereafter designated therefore, and of the passage of any preliminary or final Order in connection therewith.

Peter Max Zimmerman
Peter Max Zimmerman
Deputy People's Counsel

John W. Hession, III
John W. Hession, III
People's Counsel for Baltimore County
Rm. 223, Court House
Towson, Maryland 21204
494-2188

I HEREBY CERTIFY that on this 4th day of June, 1981, a copy of the foregoing

Order was mailed to R. Bruce Alderman, Esquire, 305 W. Chesapeake Avenue, Suite 310, Towson, Maryland 21204; and Clark F. Mackenzie, General Partner, Cromwell Bridge Road Limited Partnership, 10807 Falls Road, Lutherville, Maryland 21093, Lessees.

John W. Hession, III
John W. Hession, III

BALTIMORE COUNTY, MARYLAND

INTER-OFFICE CORRESPONDENCE

Mr. W. E. Hammond
Zoning Commissioner

Date: May 25, 1981

FROM: Norman E. Gerber, Director
Office of Planning and Zoning

SUBJECT: Petition No. 81-211-SPH - Item 175

Petition for Special Hearing
South side of Cromwell Bridge Road, 114 feet southeast of
Beaverbank Circle
Petitioner- George W. Helfrich

Ninth District

HEARING: Thursday, June 11, 1981 (9:45 A.M.)

An amended plan was approved by the Baltimore County Planning Board on April 16, 1981.

Norman E. Gerber
Norman E. Gerber, Director
Office of Planning and Zoning

NEG:JGH:ab



BALTIMORE COUNTY
OFFICE OF PLANNING & ZONING
TOWSON, MARYLAND 21204
494-3353

May 28, 1981

R. Bruce Alderman, Esquire
305 W. Chesapeake Avenue
Suite 310
Towson, Maryland 21204

RE: S/S Cromwell Bridge Rd., 114' SE Beaverbank Circle
Petition for Special Hearing
George W. Helfrich - Petitioner
Case No. 81-211-SPH

Dear Mr. Alderman:

This is to advise you that \$68.75 is due for advertising and posting of the above property.

Please make check payable to Baltimore County, Maryland, and remit to Karen Riegel, Room 113, County Office Building, Towson, Maryland 21204 before the hearing.

Very truly yours,
William E. Hammond
WILLIAM E. HAMMOND
Zoning Commissioner

No. 096927

BALTIMORE COUNTY, MARYLAND
OFFICE OF FINANCE - REVENUE DIVISION
MISCELLANEOUS CASH RECEIPT

DATE: June 11, 1981 ACCOUNT: 91-662

AMOUNT: \$68.75

RECEIVED: Cromwell Bridge Rd. Limited Partnership
FOR: Posting & Advertising of Case #81-211-SPH

23 JUNE 11 1981

68.75

VALIDATION OR SIGNATURE OF CASHIER

81-211-SPH

CERTIFICATE OF POSTING ZONING DEPARTMENT OF BALTIMORE COUNTY Towson, Maryland

District: 9 Date of Posting: 5/24/81
 Posted for: leftover for Special Hearing
 Petitioner: George W. Helfrich
 Location of property: 5/3 of Cromwell Bridge Rd., 114'
SE of Beaverbank Circle
 Location of Signs: front of property facing Crom-
well Bridge Rd.
 Remarks: None
 Posted by: William E. Hammond Date of return: _____
 Number of Signs: 1

| FUNCTION | Wall Map | | Original | | Duplicate | | Tracing | | 200 Sheet | |
|---|--|----|----------|----|-----------|----|---------|----|-----------|----|
| | date | by | date | by | date | by | date | by | date | by |
| Descriptions checked and outline plotted on map | | | | | | | | | | |
| Petition number added to outline | | | | | | | | | | |
| Denied | | | | | | | | | | |
| Granted by ZC, BA, CC, CA | | | | | | | | | | |
| Reviewed by: <u>WCH</u> | Revised Plans: Change in outline or description _____ Yes _____ No | | | | | | | | | |
| Previous case: <u>67-11X, 69-248A</u> | Map # <u>3C (NE10B)</u> | | | | | | | | | |

Item # 175

Mr. George W. Helfrich
 c/o R. Bruce Alderman, Esquire
 305 W. Chesapeake Avenue
 Suite 310
 Towson, Maryland 21204

May 12, 1981

NOTICE OF HEARING

RE: Petition for Special Hearing
S/S Cromwell Bridge Rd., 114' SE of Beaverbank Circle
Case No. 81-211-SPH

TIME: 9:45 A.M.DATE: Thursday, June 11, 1981PLACE: ROOM 106 COUNTY OFFICE BUILDING, 111 W. CHESAPEAKE AVENUE,

TOWSON, MARYLAND

FROM THE OFFICE OF
 GEORGE WILLIAM STEPHENS, JR. & ASSOCIATES, INC.
 ENGINEERS
 303 ALLEGHENY AVENUE, TOWSON, MARYLAND 21204

Description to accompany petition
 for Special Hearing to permit a
 parking lot and entrance in an existing
 MR-1M zone
 Containing 0.48 acres of land more or less.

March 16, 1981

Beginning for the same at a point on the south side of Cromwell Bridge Road, 70 feet wide, said point being the westernmost line of an existing MR-1M zone and being measured South 62°51'08" East 114.09 feet from the centerline intersection of Cromwell Bridge Road and Beaverbank Circle, thence binding on the south side of Cromwell Bridge Road the two following courses, viz: (1) South 80°43'00" East 32.16 feet and (2) Easterly by a curve to the left, having a radius of 1235.00 feet, for a distance of 73.44 feet, said curve being subtended by a chord bearing South 82°25'13" East 73.43 feet, thence leaving the south side of said Road and binding on the east side of said MR-1M zone (3) South 26°48'32" West 216.66 feet, thence leaving the east side of the MR-1M zone and running the four following courses viz: (4) Westerly by a curve to the right, having a radius of 955.37 feet for a distance of 12.37 feet said curve being subtended by a chord bearing North 82°22'49" West 12.37 feet, (5) North 82°00'34" West 5.70 feet, (6) North 70°47'30" West 83.65 feet, and (7) North 26°48'32" East, binding on the westernmost side of said existing MR-1M zone, 199.77 feet to the place of beginning.

Containing 0.48 acres of land more or less.



DUPLICATE CERTIFICATE OF PUBLICATION

TOWSON, MD., May 21, 1981
 THIS IS TO CERTIFY, that the annexed advertisement was published in THE JEFFERSONIAN, a weekly newspaper printed and published in Towson, Baltimore County, Md., once a week of each time six weeks before the 11th day of June, 1981, the next publication appearing on the 21st day of May, 1981.

THE JEFFERSONIAN
L. Frank Smith
 Manager.
 Cost of Advertisement, \$ 18.00

The Essex Times

Essex, Md., May 21 1981

This is to Certify, That the annexed

was inserted in The Essex Times, a new paper printed and published in Baltimore County, once in each of one successive weeks before the 21st day of May, 1981.
Small Times Publisher.
 \$35.70

Petition for Special Hearing
 ZONING: Petition for Special Hearing
 LOCATION: South side of Cromwell Bridge Road, 114 feet southeast of Beaverbank Circle
 DATE & TIME: Thursday, June 11, 1981, at 9:45 A.M.
 PUBLIC HEARING: Room 106, County Office Building, 111 West Chesapeake Avenue, Towson, Maryland
 The Zoning Commissioner of Baltimore County, by authority of the Zoning Act and Regulations of Baltimore County,

will hold a public hearing: Petition for Special Hearing under Section 500.7 of the Baltimore County Zoning Regulations, to determine whether or not the Zoning Commissioner and/or Deputy Zoning Commissioner should approve a parking lot and entrance in an MR-1M Zone I.M. District.

All that parcel of land in the Ninth District of Baltimore County:
 Beginning for the same at a point on the south side of Cromwell Bridge Road 70 feet wide, said point being the westernmost line of an existing MR-1M zone and being measured South 62°51'08" East 114.09 feet from the centerline intersection of Cromwell Bridge Road and Beaverbank Circle, thence binding on the south side of Cromwell Bridge Road the two following courses, viz: (1) South 80°43'00" East 32.16 feet and (2) Easterly by a curve to the left, having a radius of 1235.00 feet, for a distance of 73.44 feet, said curve being subtended by a chord bearing South 82°25'13" East 73.43 feet, thence leaving the south side of said Road and binding on the east side of said MR-1M zone (3) South 26°48'32" West 216.66 feet, thence leaving the east side of the MR-1M zone and running the four following courses viz: (4) Westerly by a curve to the right, having a radius of 955.37 feet for a distance of 12.37 feet said curve being subtended by a chord bearing North 82°22'49" West 12.37 feet, (5) North 82°00'34" West 5.70 feet, (6) North 70°47'30" West 83.65 feet, and (7) North 26°48'32" East, binding on the westernmost side of said existing MR-1M zone, 199.77 feet to the place of beginning. Containing 0.48 acres of land more or less.

Being the property of George W. Helfrich as shown on plat filed with the Zoning Department, dated: Thursday, June 11, 1981, at 9:45 A.M.
 Public Hearing: Room 106, County Office Building, 111 West Chesapeake Avenue, Towson, Maryland.
 By Order of
 WILLIAM E. HAMMOND,
 Zoning Commissioner,
 Baltimore County



Mr. William E. Hammond, Zoning Commissioner
 Office of Planning and Zoning
 County Office Building
 Towson, Maryland 21204

Dear Mr. Hammond:

Comments on Item #175, Zoning Advisory Committee Meeting of March 31, 1981, are as follows:

Property Owner: George Helfrich
 Location: S/S Cromwell Bridge Road 114.09' E. of Beaverbank Circle
 Existing Zoning: MR-1M
 Proposed Zoning: Special Hearing to approve a parking lot and entrance in an MR-1M zone.
 Acres: 0.48
 District: 9th

Metropolitan water and sewer are available.

If a food service facility is proposed, complete plans and specifications must be submitted to the Plans Review Section, Environmental Support Services, Baltimore County Department of Health, for review and approval prior to construction.

Prior to new installation/s of fuel burning equipment the owner should contact the division of Air Pollution Control, 494-3775, to obtain requirements for such installation/s before work begins.

Very truly yours,

Jan J. Forrest, Director
 BUREAU OF ENVIRONMENTAL SERVICES

LJF/ale/JRF

cc: Plans Review Section

Air Pollution Control

GEORGE WILLIAM STEPHENS, JR. & ASSOCIATES, INC.
 CONSULTING ENGINEERS
 303 ALLEGHENY AVENUE
 TOWSON, MD. 21204

Date March 20, 1981

To: Baltimore County Office of Planning: 1001 Cromwell Bridge Road
& Zoning
County Office Building
Towson, Maryland 21204

Attention: Mr. Jack Wimbley

Gentlemen:

☒ We are submitting
☐ We are forwarding
☐ We are returning
☐ We request

☒ Herewith

| No. | Description |
|-----|-------------------------------------|
| 5 | Copies of Proposed Development Plan |

Remarks: SEEKED LANDSCAPING ALONG CROMWELL BRIDGE ROAD PER JACK WIMBLEY'S REQUEST

☐ In accordance with your request
☐ For your review
☐ For processing
☐ Plans reviewed and accepted
☐ Plans reviewed and accepted as noted
☐ For revision by you
☐ For your use
☐ Please call when ready
☐ Please return to this office
☐ Approval requested
☐ Conference requested at your convenience

For further information, please contact the writer at this office

CC: file
 Enclosure #1
 Mr. Gary Gail
 Mr. Don Smith
 Mr. Bruce Alderman
 305 W. Chesapeake

Sincerely yours,

Robert W. Rosenberger
 Robert W. Rosenberger

Received by

Date

MACKENZIE - CROMWELL BRIDGE ROAD

April 2, 1981

Project summary for Land Development Committee Meeting - Planning Board to conform to Section 240.3 of the Zoning Regulations.

Property Owner - George W. Helfrich
Deed Reference 3860/541, 5327/278 and 1860/256

Contract Lease: Cromwell Bridge Road Limited Partnership

Total Tract Size - 4.153 ac. ±

Existing Zoning:

ML-1M ----- 2.50 Acres ±
MR-1M ----- 0.50 Acres ±
DR 3.5 ----- 1.15 Acres ±

Lease Area Consists of all ML-1M & MR-1M + 0.1 Ac. DR 3.5

Proposed Use - Office building in ML-1M Portion - 3 story - 30,004 S.F.
75 parking spaces required

Proposed use in MR-1M area additional parking so that we can provide for a total of 122 parking spaces with adequate circulation so as to prevent onstreet parking.

This will provide for a parking ratio of 1 space per 250 ± S.F. of office space.

Site has very steep topography in a north-south direction which, while allowing us to leave wooded areas to the south, requires parking to extend westerly.

This parking area in the MR will naturally be screened and landscaped. The remainder of the site will also be landscaped as is typical with Mackenzie projects.

Grading permit and building permit has been issued for development in ML portion (33157-GRC and #33256/C-165-81)

As part of this development, the following public improvements shall be constructed:

1. Widening of Cromwell Bridge Road for full frontage (1,000' ± including DR 3.5 portion); deposit posted with County - \$37,000 ±. This will complete the 44' curbed cross-section/
2. Installation of fire hydrant - \$5,000.
3. Storm drain extension - fee to be determined

MACKENZIE - CROMWELL BRIDGE ROAD

April 2, 1981
Page 2

All County Development Regulations have been or will be complied with when the project is completed. Adequate public facilities are available to serve this site.

Uses surrounding MR-1M portion:

East - MacKenzie Office Building & Parking Lot - proposed

West - Vacant DR 3.5 portion of tract owned by Helfrich, between MR-1M and nearest residential use there is approximately 325 feet.

South - G & E transmission tower line and substation and rear of Bendix site.

North - Existing dwelling to NW - 100 ft. away remaing north and northeast existing commercial (Office use) - 200' ±

BRANCH OFFICE
EQUITABLE BLDG.
220 S. MAIN ST.
BAL. AIR. MD. 21014
878-1500
838-1800

GEORGE WILLIAM STEPHENS, JR.
AND ASSOCIATES, INC.
CONSULTING ENGINEERS

MAIN OFFICE
303 ALLEGHENY AVENUE
P.O. BOX 6628
TOWSON, MD. 21204
VALLEY 5-8129

Date March 17, 1981

To: Zoning Commissioner's Office
Baltimore County Office Building
Towson, Maryland 21204

Re: 1001 Cromwell Bridge Road

Attention: Mr. James E. Dyer, Zoning Supervisor

Gentlemen:

- ☒ We are submitting ☒ Herewith ☐ Under Separate Cover
☐ We are forwarding
☐ We are returning
☐ We request

| No. | Description |
|-----|--|
| 1 | Check list |
| 10 | Copies of Development Plan |
| 10 | Copies of 200 scale zoning map with subject parcel shown |
| 10 | Copies of surveyor's description |
| 3 | Copies of petition |
| 1 | Check in the amount of \$25.00 for filing fee |

Remarks:

- ☐ In accordance with your request ☐ For your use
☐ For your review ☐ Please call when ready
☒ For processing ☐ Please return to this office
☐ Plans reviewed and accepted ☒ Approval requested
☐ Plans reviewed and accepted as noted ☐ Conference requested at your convenience
☐ For revision by you

For further information, please contact the writer at this office

CC: file
Enclosure ☐
Mr. Gary Gill
Mr. Don Smith

Sincerely yours,

Robert W. Rosenberg
Robert W. Rosenberg

Received by

Date



GENERAL NOTES

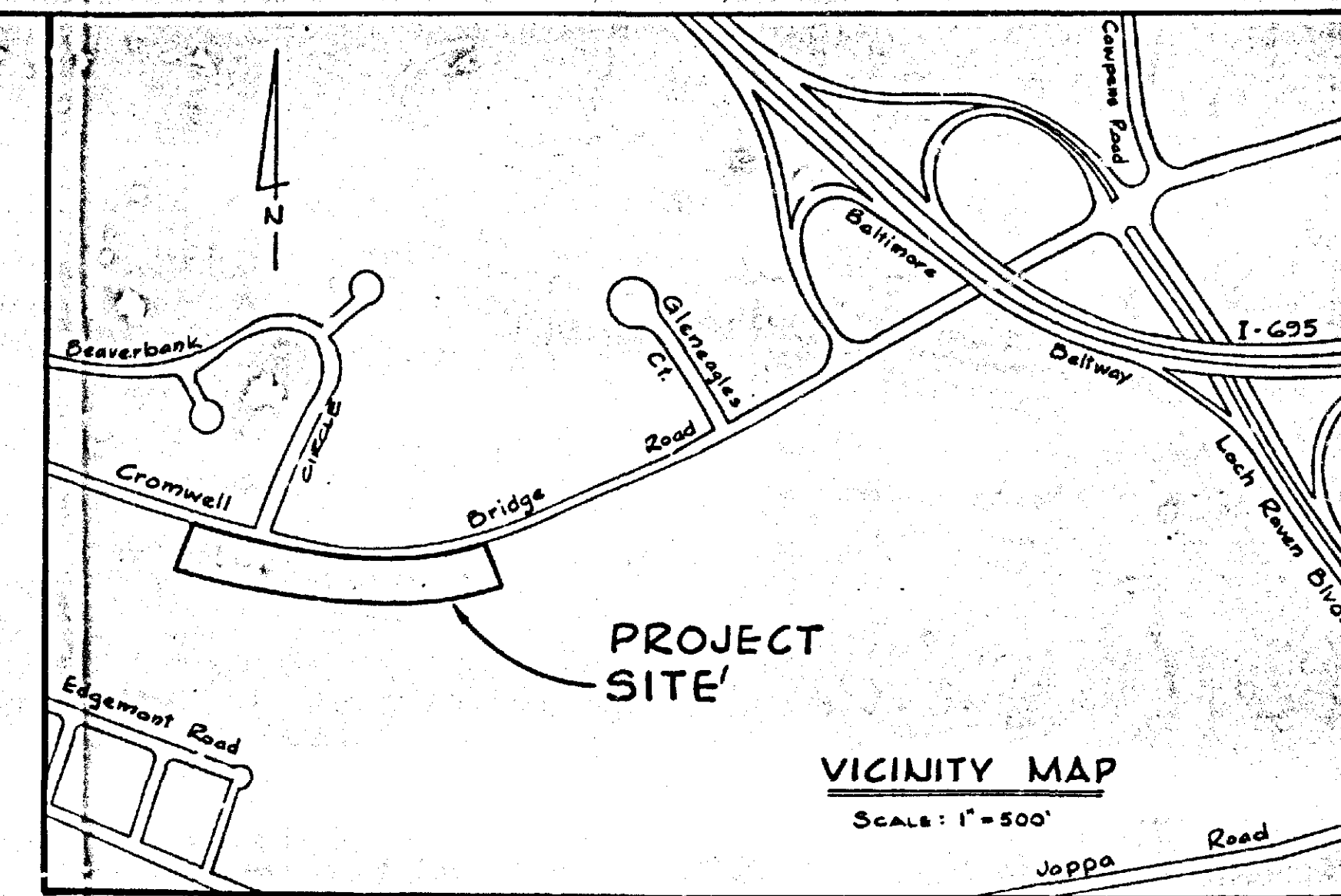
1. The Contractor Shall Inspect The Project Site To Determine Any Existing Paving Structures, etc. That Are To Be Removed Prior To Paving A Bid On Such Items.
2. The Contractor Shall Clear The Project Site Of All Trees, Existing Paving Structures, etc. That May Interfere With New Construction, Before Starting Any Construction.
3. Suitable Material Shall Be Used As Fill And All Fill Areas Shall Be Colled To A Minimum Degree Of Compaction Of 95% Of The Dry Unit Weight As Determined By A.S.T.M. D-698 Standards, Or As Specified By The Soils Engineer.
4. The Location Of Existing Utilities, As Shown On This Plan Are Approximate Only And The Contractor Should Locate And Identify All Utilities To His Own Satisfaction Prior To Starting Any Construction.
5. Indicates Standard Concrete Curb/Gutter.
6. Indicates Reverse Slope Curb/Gutter.
7. Indicates Retaining Wall.
8. All Construction On Site Shall Be In Accordance With Balto. Co. Standard Specifications & Details For Construction.
9. All Disturbed Areas, Not Being Faced Or Excavating Building Coverage, Shall Be Stabilized In Accordance With The Approved Erosion Control Plans Or Landscaped As Specified By The Owner Or Architect.
10. The Paving Section Shall Be As Specified By The Soils Engineer.
11. Any Damage To Off-Site Right-Of-Way, Public Roads Or Adjacent Properties Shall Be Repaired Immediately At The Contractors Expense.
12. The Contractor Is To Maintain A Two Foot Minimum Bench Behind All Proposed Curb/Gutter In Fill Areas.
13. The Contractor Shall Notify The Gas/Electric Company And The C&P Telephone Company, 5 days Prior To Starting Work Shown On These Plans By Calling Callers Utility At 1-555-0102.
14. All Proposed Paving And Curb/Gutter Shall Meet Existing Paving And Curb/Gutter For Line & Grade.
15. Indicates Parking Space Reserved For Handicapped.
16. For Details Of Ramp And Signs For Handicapped, See The Maryland Building Code For The Handicapped And Aged; See Also Balto. Co. Std. R-36.
17. All Concrete Walls, Walls And Easements Shall Be As Specified By The Architect.
18. Indicates Proposed Light.
19. Indicates Proposed Evergreen.
20. Indicates Proposed Deciduous.
21. Indicates Proposed Compact Screening (Arboretas Or Equal).

BLDG. AREA TABULATION

| | | | | |
|--------------|---|-------------|---|--------------------|
| FIRST FLOOR | = | 7868 S.F. | = | 33 P.S. @ 1/300 SF |
| SECOND FLOOR | = | 10,068 S.F. | = | 21 P.S. @ 1/300 SF |
| THIRD FLOOR | = | 10,068 S.F. | = | 21 P.S. @ 1/300 SF |
| TOTAL | = | 30,004 S.F. | = | 75 P.S. REQ'D. |

SITE DATA

TOTAL AREA OF TRACT = 4.153 AC.
EXISTING ZONING = ML-1M, MR-1M, & DR 3.5
NOTE: ALL CONSTRUCTION BEING PERFORMED IN ML-1M ZONE & MR-1M ZONE
TOTAL FLOOR AREA = 30,004 S.F.
PROPOSED USE = OFFICE
PARKING REQUIRED = 75 P.S. (71 @ 8.5'x18' MIN. 3 @ 12'x18' HDGR)
PARKING PROVIDED = 122 P.S. (117 @ 8.5'x18' MIN. 5 @ 12'x18' HDGR)



VICINITY MAP

SCALE: 1"=500'

BENCH MARK: - BALTO. CO. HUB # 11148 ELEV. 353.592
DESCRIPTION: GALV. SPIKE IN MAG. ON S.E. SIDE OF CROMWELL BRIDGE ROAD 125'± N.E. OF GLENDALES COURT 1.3' N. OF S. EDGE OF MAG.

DEPRESSED CURB DETAIL

NOT TO SCALE

NOTE: ALL PUBLIC ROAD & PUBLIC UTILITIES IMPROVEMENTS ALONG CROMWELL BRIDGE RD. ADJACENT THIS PROJECT SITE SHALL BE CONSTRUCTED IN ACCORDANCE WITH BALTO. CO. CONSTRUCTION DWG'S. FOR THIS SITE

NOTE: MINIMUM BLDG. RESTRICTION LINE = 12' IN ACCORDANCE WITH ZONING VARIANCE CASE NO. 69-248-A GRANTED MAY 23, 1969

TYPICAL LANDSCAPE SECTION

NOT TO SCALE

NOTE: FINAL LANDSCAPE DESIGN SHALL BE BY A REGISTERED LANDSCAPE ARCHITECT'S OFFICE. ANY PLANTINGS TO BE INSTALLED SHALL BE IN ACCORDANCE WITH THE FINAL LANDSCAPE DESIGN.

GEORGE W. HELFRICH

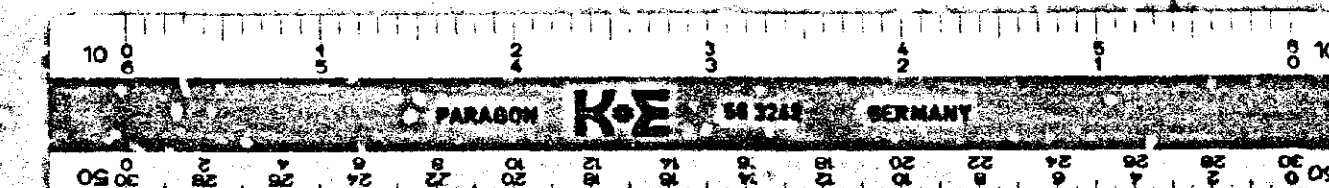
3860 / 541
5327 / 218
1860 / 256

PLANS APPROVED
OFFICE OF PLANNING & ZONING
BY:
DATE: 4-20-81

PLAN

SCALE: 1"=30'

NOTE: GRADING & PAVING FOR WORK WITHIN ML-1M ZONING AREA PERMITTED BY BALTO. CO. DEPT. OF PERMITS & LICENSES, PERMIT # 33157



NOTE: STORM WATER MANAGEMENT FOR THIS SITE HAS BEEN WAIVED.

GEORGE WILLIAM STEPHENS JR. AND ASSOCIATES INC.
ENGINEERS
303 ALLEGHENY AVE. TOWSON, MD. 21204

CHARLES E. FICK REG. NO. DATE

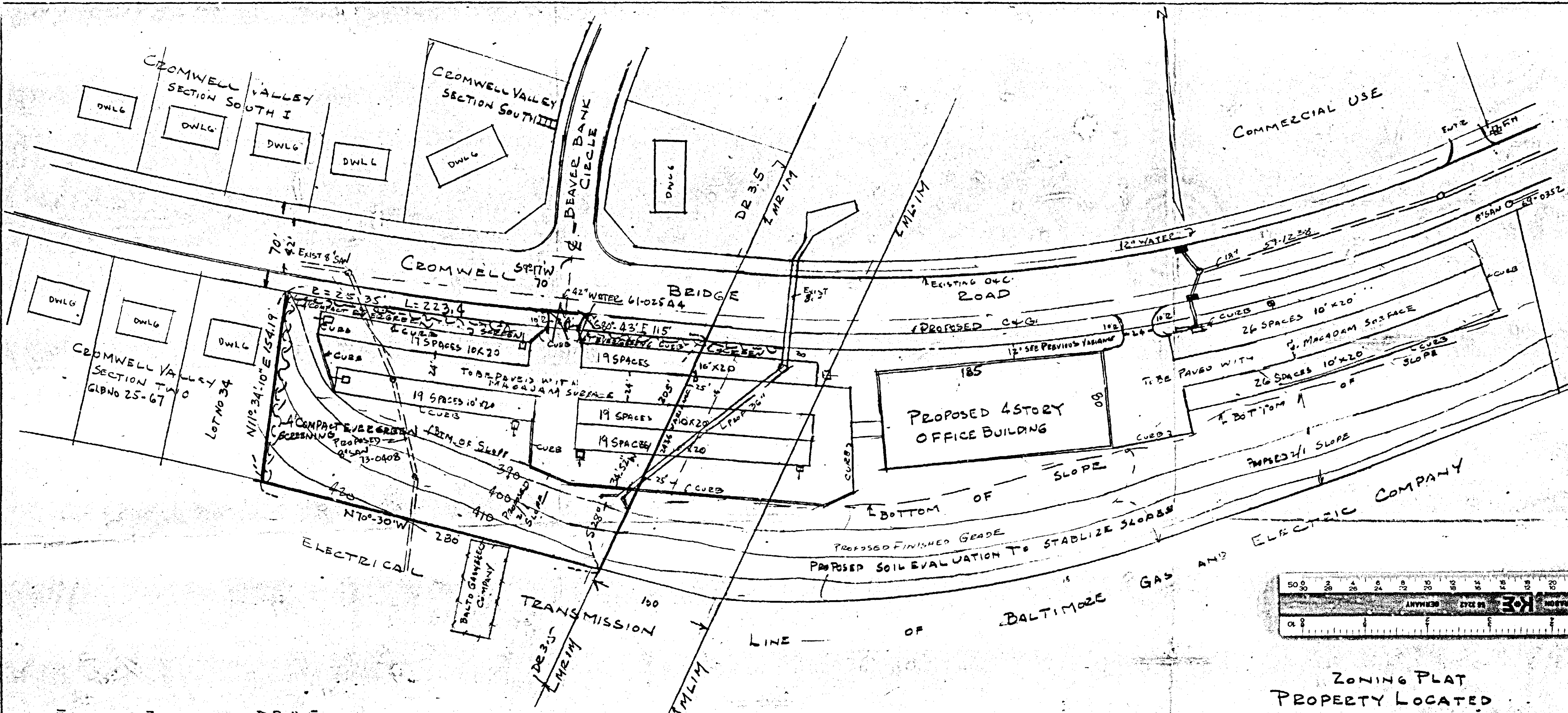
OWNER/DEVELOPER
CROMWELL BRIDGE ROAD LIMITED PARTNERSHIP
GREENSPRING VILLAGE
PROFESSIONAL BUILDING, SUITE 201
10807 FALLS ROAD
LUTHERVILLE, MARYLAND
21093

DESIGN BY: R.W.R.
DRAWN BY: R.W.R./R.
CHECKED BY: R.W.R.

REVISIONS

PROPOSED DEVELOPMENT PLAN
FOR
PROPOSED OFFICE BUILDING
1001 CROMWELL BRIDGE ROAD
BALTIMORE COUNTY, MARYLAND
SCALE: AS SHOWN
SHEET 1 OF 1

ELECTION DISTRICT #9
MAY 16, 1981
P.N. 4201



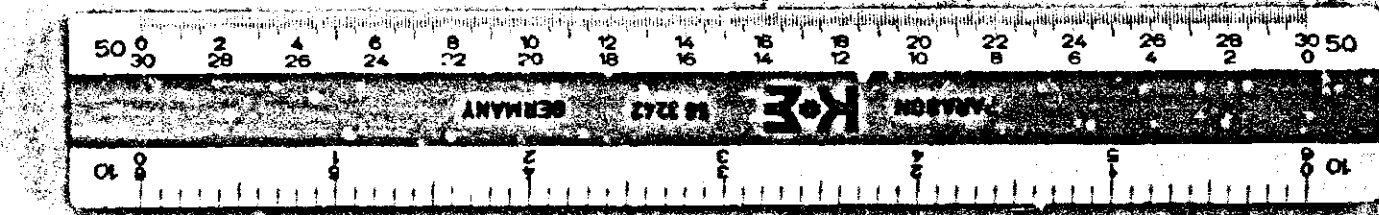
EXISTING ZONING DR 3.5
 PROPOSED: 409.4' SPECIAL HEARING FOR PERMIT FOR USE OF LAND IN RESIDENTIAL ZONE FOR PARKING AREA UNDER FOLLOWING CONDITIONS.

- ONLY PASSENGER VEHICLES, EXCLUDING BUSES; PARKING PERMITTED NO LOADING SERVICE OR USE OTHER THAN PARKING PERMITTED
- PARKING DURING OFFICE HOURS ONLY (8AM TO 11PM)
- LIGHT BEAMS TO BE FOCUSED AWAY FROM RESIDENTIAL AREA
- LIGHT STANDARDS LIMITED TO 8' IN HEIGHT
- SCREENING TO BE 6' UPRIGHT YEW'S PLANTED ON 5' CENTERS
- 2436' VARIANCE OF 0' INSTEAD OF 25 FEET; PARKING ADJACENT TO DR 3.5 ZONE BOUNDARY IN MR ZONE

PARKING DATA

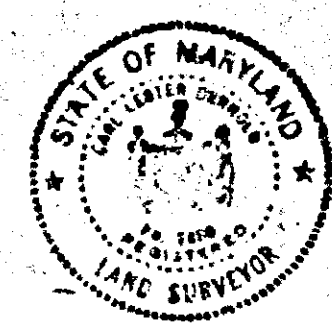
| | | | |
|-----------|-------|----------|-----------------|
| 1ST FLOOR | 15300 | 300 = 51 | SPACES REQUIRED |
| 2ND FLOOR | 15300 | 500 = 31 | " |
| 3RD FLOOR | 15300 | 500 = 31 | " |
| 4TH FLOOR | 15300 | 500 = 31 | " |

TOTAL 144 SPACES REQUIRED
 145 SPACES PROVIDED



ZONING PLAT
 PROPERTY LOCATED IN
 9TH DISTRICT - BALTO. CO. MD.
 AREA IN DR 3.5 ZONE = 1.2 ACRES

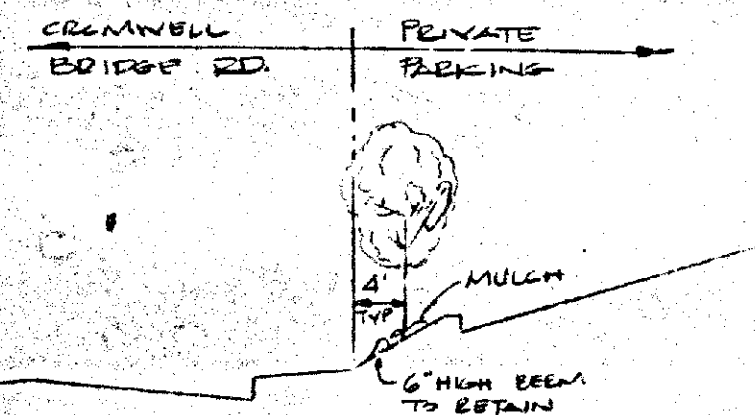
MICROFILMED



REVISED JUNE 2, 1975
 SCALE = 1" = 50' JULY 10, 1974
 DOLLENBERG BROTHERS
 SURVEYORS & CIVIL ENGINEERS
 412 DELAWARE AVE TOWSON MD.

GENERAL NOTES

- The Contractor Shall Inspect The Project Site To Determine Any Trees, Existing Paving, Structures, etc. That Are To Be Removed Prior To Placing A Bid On Such Items.
- The Contractor Shall Clear The Project Site Of All Trees, Existing Paving, Structures, etc. That May Interfere With New Construction, Before Starting Any Construction.
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- The Contractor Shall Notify The Gas & Electric Company And The C&P Telephone Company, 5 days Prior To Starting Work Shown On These Plans By Calling Collect Miss Utility At 1-555-0100.
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- Indicates Dense Compact Screening (Arbovitae or Equal)



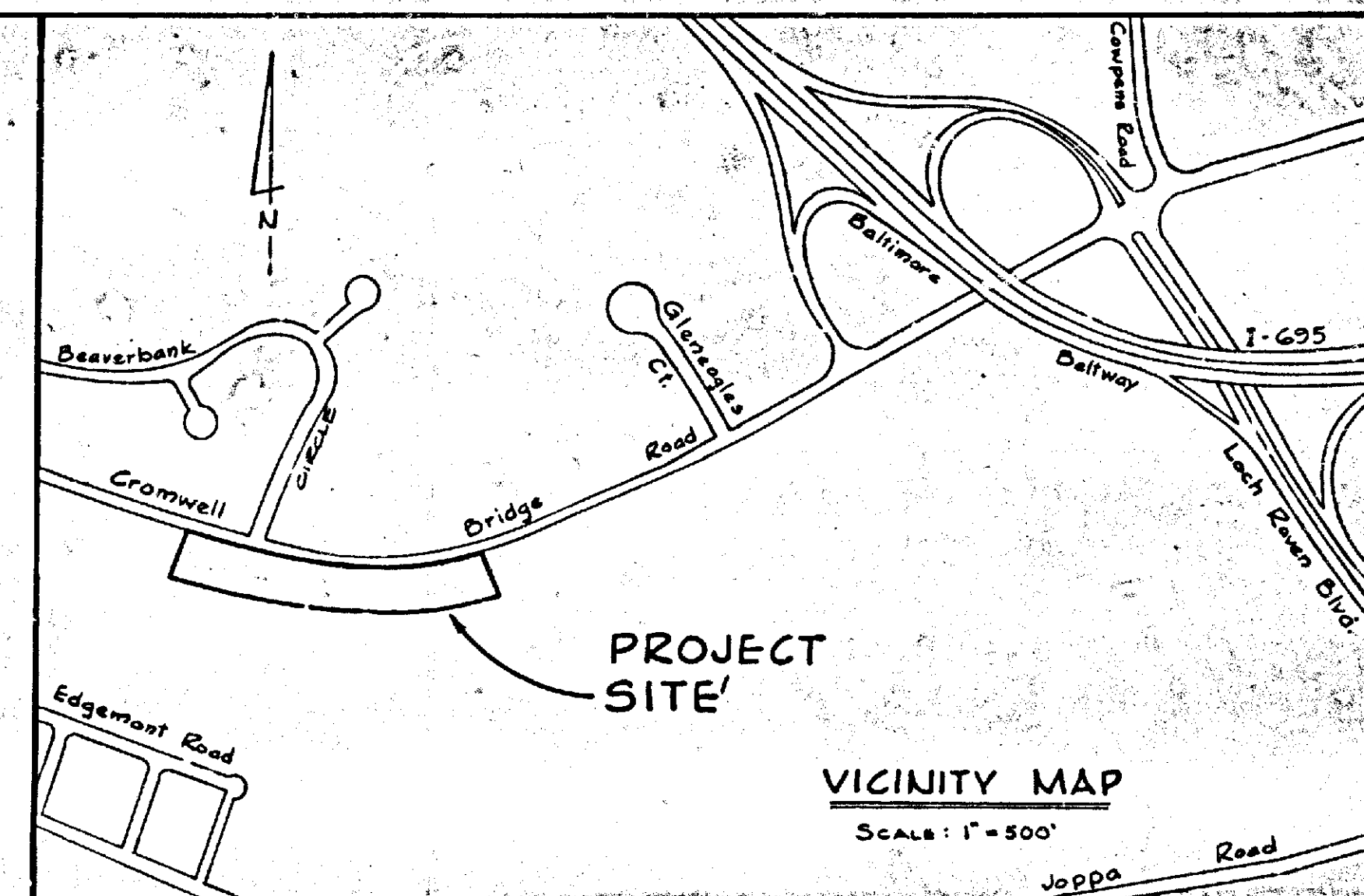
NOTE: FINAL LANDSCAPE DESIGN SHALL BE BY A REGISTERED LANDSCAPE ARCHITECTS WHEREVER POSSIBLE SALVAGE 3" SITE CLEARING OPERATION

BLDG. AREA TABULATION

FIRST FLOOR = 2868 S.F. = 33 P.S. @ 1/300 S.F.
 SECOND FLOOR = 10,068 S.F. = 21 P.S. @ 1/300 S.F.
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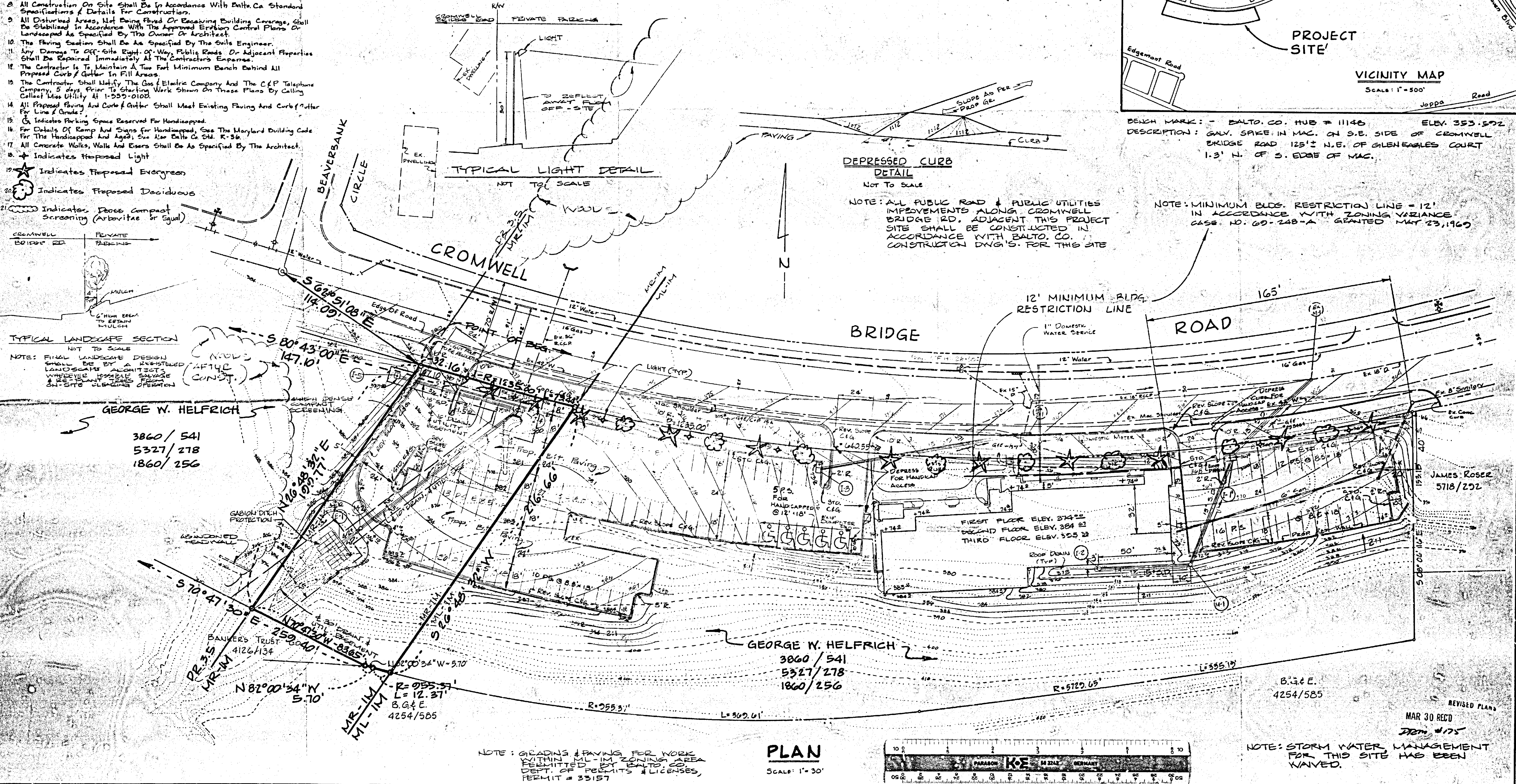
BENCH MARK: - BALTO. CO. HUB # 11148 ELEV. 353.502
 DESCRIPTION: GALV. SPIKE IN MAG. ON S.E. SIDE OF CROMWELL BRIDGE ROAD 125' N.E. OF GLENDALES COURT 1.3' N. OF S. EDGE OF MAG.

NOTE: MINIMUM BLDG. RESTRICTION LINE = 12' IN ACCORDANCE WITH ZONING VARIANCE CASE NO. 69-248-A GRANTED MAY 23, 1969

DEPRESSED CURB DETAIL

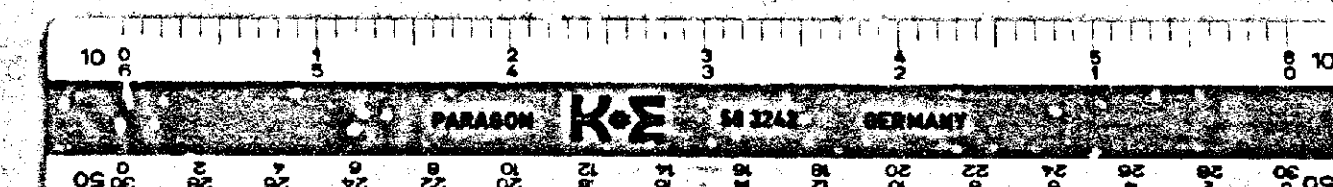
NOT TO SCALE

NOTE: ALL PUBLIC ROAD & PUBLIC UTILITIES IMPROVEMENTS ALONG CROMWELL BRIDGE RD. ADJACENT THIS PROJECT SITE SHALL BE CONSTRUCTED IN ACCORDANCE WITH BALTO. CO. CONSTRUCTION DNG'S. FOR THIS SITE



PLAN

SCALE: 1" = 30'



NOTE: STORM WATER MANAGEMENT FOR THIS SITE HAS BEEN WAIVED.

GEORGE WILLIAM STEPHENS JR. AND ASSOCIATES INC.
 ENGINEERS
 303 ALLEGHENY AVE. TOWSON, MD. 21204

CHARLES E. FICK REG. NO. DATE

OWNER/DEVELOPER
 CROMWELL BRIDGE LIMITED PARTNERSHIP
 GREENSPRING VILLAGE
 PROFESSIONAL BUILDING, SUITE 301
 10807 FALLS ROAD
 LUTHERVILLE, MARYLAND
 21093

DESIGN BY: R.W.R.
 DRAWN BY: R.W.R./J.M.
 CHECKED BY: R.W.R.
 REVISIONS

PROPOSED DEVELOPMENT PLAN
 FOR
PROPOSED OFFICE BUILDING
 1001 CROMWELL BRIDGE ROAD
 BALTIMORE COUNTY, MARYLAND
 ELECTION DISTRICT #9
 SCALE: AS SHOWN
 SHEET 1 OF 1
 MARCH 16, 1991
 P.N. 4261